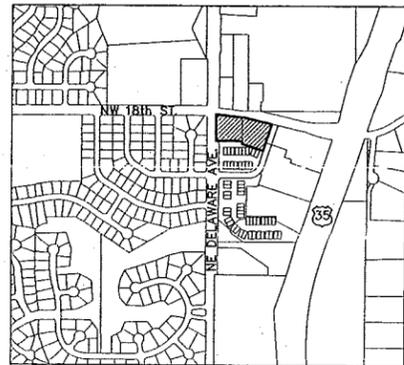


SITE PLAN FOR: WINDSOR VILLAGE PLAT 5

ANKENY, IOWA

VICINITY MAP

NOT TO SCALE



LEGAL DESCRIPTION

WARRANTY DEED (BOOK 15744, PAGE 892)
NORTH 300.0 FEET OF THE WEST 300.0 FEET OF THE NORTHWEST FRACTIONAL QUARTER (NW FR. 1/4) OF THE NORTHWEST FRACTIONAL QUARTER (NW FR. 1/4) OF SECTION 16, TOWNSHIP 80, RANGE 23, WEST OF THE 5TH P.M., POLK COUNTY, IOWA, EXCEPT THE WEST 33.0 FEET THEREOF, AND EXCEPT RIGHT OF WAY OF N.E. 102ND AVENUE, POLK COUNTY, IOWA.

AND

OUTLOT 'A', WINDSOR VILLAGE PLAT 4, AN OFFICIAL PLAT IN THE CITY OF ANKENY, POLK COUNTY IOWA.

PROPERTY CONTAINS 3.19 ACRES (138,894 SQUARE FEET).

PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

PROJECT SITE ADDRESS

NE WINDSOR DRIVE AND NE 18TH STREET

ZONING

R-3A (PLANNED MULTIPLE-FAMILY RESIDENCE)

BULK REGULATIONS

MIN. YARDS = AS ILLUSTRATED
MAXIMUM HEIGHT = 45 FEET
MIN. LOT AREA = NONE

BUILDING SEPARATION = 12' PRINCIPAL STRUCTURES, 10' GARAGES
SIGNAGE = ONE MONUMENT SIGN

R-3 ZONING REGULATIONS SHALL APPLY TO ANY ITEMS NOT COVERED.

DEVELOPMENT SUMMARY

AREA: 3.15 ACRES (137,216 SF), 3.00 NET (LESS ROW)

ZONING: R-3A (PLANNED MULTIPLE-FAMILY RESIDENCE)

OPEN SPACE CALCULATION:

TOTAL SITE:	= 130,598 SF (3.00 NET ACRES)
OPEN SPACE REQUIRED (20%)	= 26,120 SF
OPEN SPACE PROVIDED	= 32,453 SF (25%)
BUILDING	= 75,600 SF
STREET/PARKING	= 12,950 SF
DRIVES	= 6,050 SF
SIDEWALK	= 3,545 SF
	= 98,145 SF

PARKING:

18 TOWNHOME UNITS
1 PER EVERY 4 UNITS (IN ADDITION TO TWO CAR GARAGES)

REQUIRED = 5 STALLS
PROVIDED = 5 STALLS

ERU CALCULATION

IMPERVIOUS SURFACES:

BUILDING (4,200 SF)	= 75,600 SF
PRIVATE STREET/PARKING	= 12,950 SF
DRIVES	= 6,050 SF
SIDEWALK	= 3,545 SF
TOTAL IMPERVIOUS AREA	= 98,145 SF
ERU (1/UNIT)	= 18

INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	NOTES AND DETAILS
3	DIMENSION PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN

DATE OF SURVEY

SEPTEMBER 25, 2015 &
MARCH 16, 2016

BENCHMARKS

ARROW ON HYDRANT ON NE 16TH STREET AT DEAD END.
ELEVATION=924.61

ARROW ON HYDRANT ON NE FORD LANE AT DEAD END.
ELEVATION=919.04

BURY BOLT ON HYDRANT EAST OF NE DELAWARE AVENUE AND 41 FEET +/- SOUTH OF NE 18TH STREET.
ELEVATION=933.41



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

GENERAL LEGEND

PROPOSED

PROJECT BOUNDARY	---
LOT LINE	---
SECTION LINE	---
CENTER LINE	---
RIGHT OF WAY	--- R/W ---
PERMANENT EASEMENT	--- P/E ---
TEMPORARY EASEMENT	--- T/E ---
TYPE SW-501 STORM INTAKE	⊗
TYPE SW-503 STORM INTAKE	⊗
TYPE SW-505 STORM INTAKE	⊗
TYPE SW-506 STORM INTAKE	⊗
TYPE SW-513 STORM INTAKE	⊗
TYPE SW-401 STORM MANHOLE	⊗
TYPE SW-402 STORM MANHOLE	⊗
TYPE SW-301 SANITARY MANHOLE	⊗
STORM/SANITARY CLEANOUT	⊕
WATER VALVE	⊕
FIRE HYDRANT ASSEMBLY SIGN	⊕
DETECTABLE WARNING PANEL	⊕
STORM SEWER STRUCTURE NO.	⊗
STORM SEWER PIPE NO.	⊗
SANITARY SEWER STRUCTURE NO.	⊗
SANITARY SEWER PIPE NO.	⊗
SANITARY SEWER WITH SIZE	8" S
STORM SEWER	ST
WATERMAIN WITH SIZE	8" W
WATER SERVICE	W
SAWCUT (FULL DEPTH)	⊕
SILT FENCE	---

EXISTING

SANITARY MANHOLE	⊗
WATER VALVE BOX	⊕
FIRE HYDRANT	⊕
WATER CURB STOP	⊕
WELL	⊕
STORM SEWER MANHOLE	⊗
STORM SEWER SINGLE INTAKE	⊗
STORM SEWER DOUBLE INTAKE	⊗
FLARED END SECTION	⊗
ROOF DRAIN/ DOWNSPOUT	⊕
DECIDUOUS TREE	⊕
CONIFEROUS TREE	⊕
DECIDUOUS SHRUB	⊕
CONIFEROUS SHRUB	⊕
ELECTRIC POWER POLE	⊕
GUY ANCHOR	⊕
STREET LIGHT	⊕
POWER POLE W/ TRANSFORMER	⊕
UTILITY POLE W/ LIGHT	⊕
ELECTRIC BOX	⊕
ELECTRIC TRANSFORMER	⊕
ELECTRIC MANHOLE OR VAULT	⊕
TRAFFIC SIGN	⊕
TELEPHONE JUNCTION BOX	⊕
TELEPHONE MANHOLE/VAULT	⊕
TELEPHONE POLE	⊕
GAS VALVE BOX	⊕
CABLE TV JUNCTION BOX	⊕
CABLE TV MANHOLE/VAULT	⊕
MAIL BOX	⊕
BENCHMARK	⊕
SOIL BORING	⊕
UNDERGROUND TV CABLE	---
GAS MAIN	---
FIBER OPTIC	---
UNDERGROUND TELEPHONE	---
OVERHEAD ELECTRIC	---
UNDERGROUND ELECTRIC	---
FIELD TILE	---
SANITARY SEWER W/ SIZE	8" S
STORM SEWER W/ SIZE	15" RCP
WATER MAIN W/ SIZE	8" W

OWNER / APPLICANT

DRA PROPERTIES LC
CONTACT: TED RAPP
1325 NE 36TH STREET
ANKENY, IA 50021
PH. (515) 964-9444

ENGINEER

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: BRAD KUEHL
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: MIKE BROOKER
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
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FX. (515) 369-4410

SUBMITTAL DATES

-SITE PLAN SUBMITTAL TO CITY #1: 8/01/16
-SITE PLAN SUBMITTAL TO CITY #2: 8/22/16

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF ANKENY GRADING PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THIS DESIGN SPECIFICALLY PREPARED FOR USE AT THE LOCATION SHOWN. USE IN ANY OTHER MANNER EXCEEDS THE INTENDED PURPOSE OF THESE DRAWINGS AND ANY ACCOMPANYING SPECIFICATIONS.



CIVIL DESIGN ADVANTAGE

3405 SE CROSSROADS DR. SUITE G, GRIMES, IOWA 50111
PH: (515) 369-4400 Fax: (515) 369-4410
PROJECT NO. 1602.042

PRELIMINARY

WINDSOR VILLAGE PLAT 5

RECEIVED
AUG 23 2016
CITY OF ANKENY

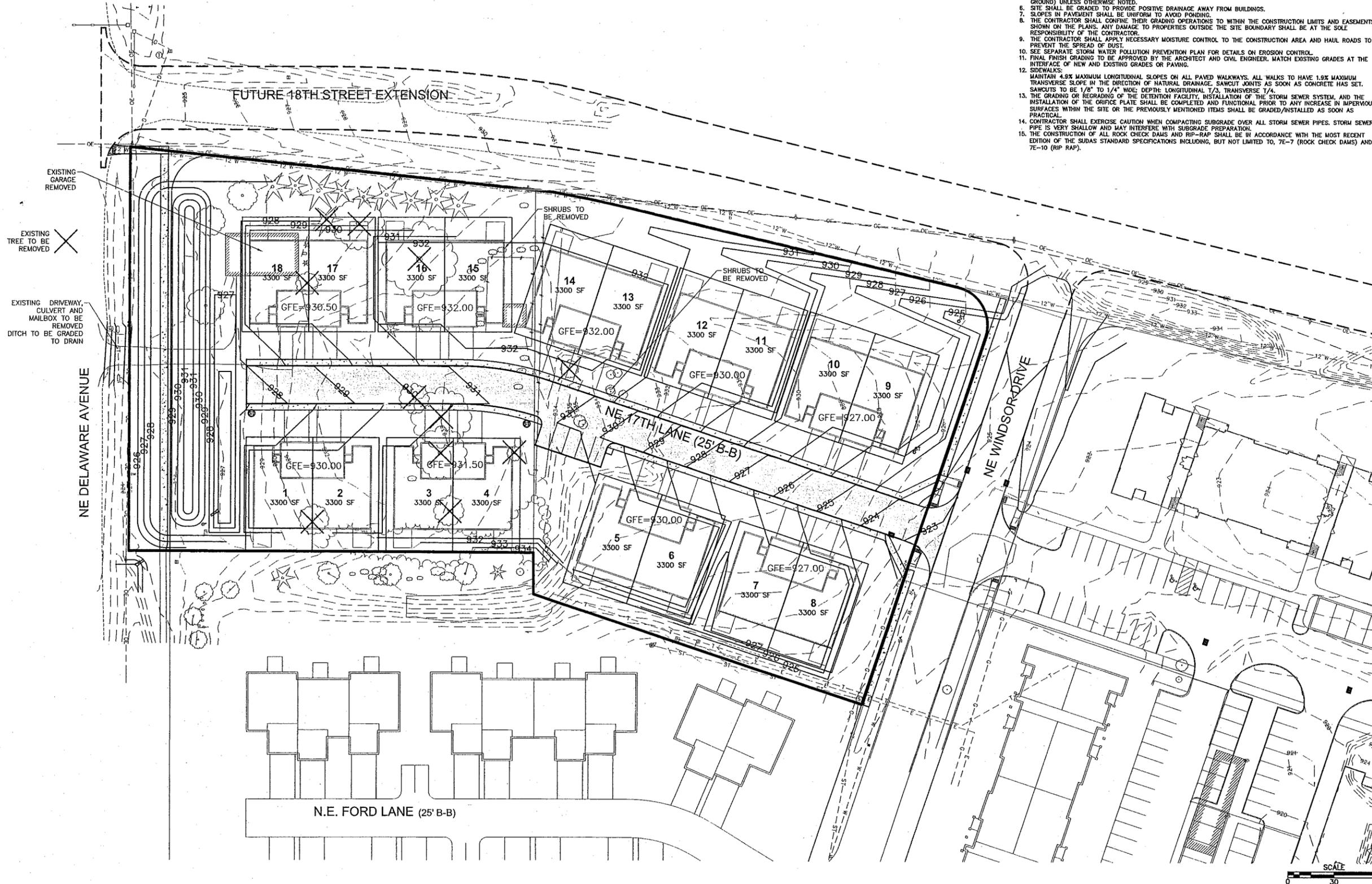
FILED IN ANKENY, IOWA, UNDER 1602.042, 8/22/2016, 2:54 PM. CIVIL DESIGN ADVANTAGE, LLC. 3405 SE CROSSROADS DRIVE, SUITE G, GRIMES, IOWA 50111. PRINTED BY: BRAD KUEHL

GENERAL NOTES

REFER TO SHEET 2

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT SHALL BE PROVIDED TO THE CITY OF ANKENY BUILDING DIVISION.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 6" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STATEWIDE URBAN DESIGN AND SEPARATION (SUDAS) MANUAL AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE TOP OF CURB (TC), FORM GRADE (FG), OR TOP OF FINISHED SURFACES (E.G. PAVEMENT, GROUND) UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE THEIR GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. SEE SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 4.9% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 1.9% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAWCUT JOINTS AS SOON AS CONCRETE HAS SET. SAWCUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/2", TRANSVERSE 1/4".
13. THE GRADING OR REGRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM, AND THE INSTALLATION OF THE ORIFICE PLATE SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
14. CONTRACTOR SHALL EXERCISE CAUTION WHEN COMPACTING SUBGRADE OVER ALL STORM SEWER PIPES. STORM SEWER PIPE IS VERY SHALLOW AND MAY INTERFERE WITH SUBGRADE PREPARATION.
15. THE CONSTRUCTION OF ALL ROCK CHECK DAMS AND RIP-RAP SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS INCLUDING, BUT NOT LIMITED TO, 7E-7 (ROCK CHECK DAMS) AND 7E-10 (RIP RAP).



DATE	8/22/16
REVISIONS	
SUBMITAL #1 TO CITY	8/22/16
SUBMITAL #1 TO CITY	8/22/16

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WINDSOR VILLAGE PLAT 5
GRADING PLAN

ANKENY, IOWA CIVIL DESIGN ADVANTAGE ENGINEER

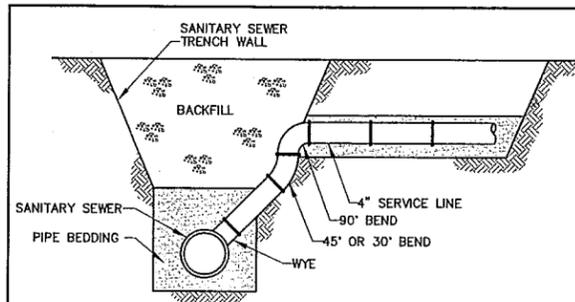
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GENERAL NOTES

REFER TO SHEET 2

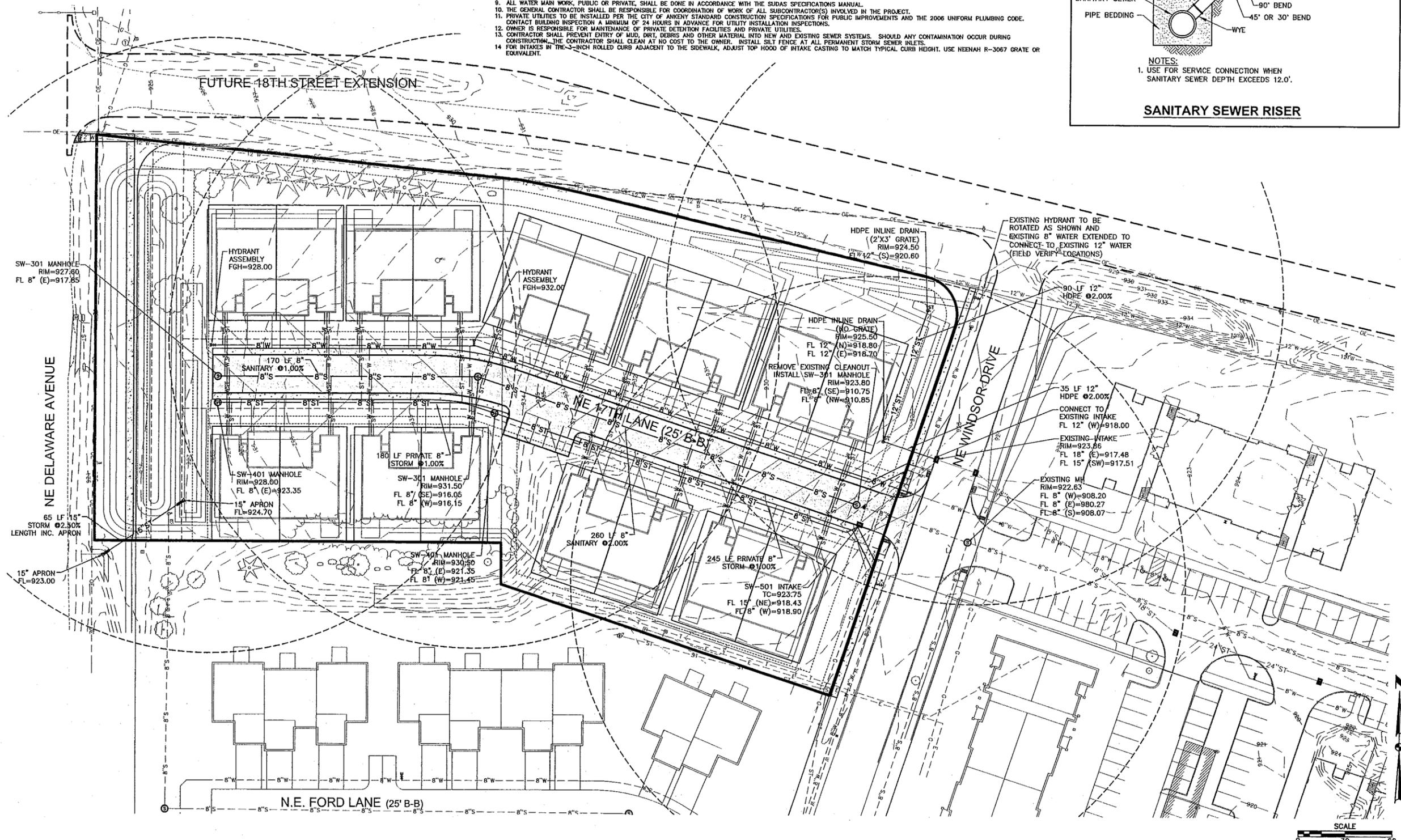
UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE MOST RECENT EDITION OF THE SUDAS MANUAL AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATER MAINS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MECHANICAL/ELECTRICAL/PLUMBING PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ALL MANHOLES, UTILITY VALVES, AND INTAKES TO BE ADJUSTED OR REBUILT TO FINISHED GRADE AS REQUIRED.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ANKENY PLUMBING CODE.
8. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8889 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
9. ALL WATER MAIN WORK, PUBLIC OR PRIVATE, SHALL BE DONE IN ACCORDANCE WITH THE SUDAS SPECIFICATIONS MANUAL.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
11. PRIVATE UTILITIES TO BE INSTALLED PER THE CITY OF ANKENY STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2006 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
12. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
13. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER, INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
14. FOR INTAKES IN THE 3-INCH ROLLED CURB ADJACENT TO THE SIDEWALK, ADJUST TOP HOOD OF INTAKE CASTING TO MATCH TYPICAL CURB HEIGHT. USE NEENAH R-3067 GRATE OR EQUIVALENT.



NOTES:
1. USE FOR SERVICE CONNECTION WHEN SANITARY SEWER DEPTH EXCEEDS 12.0'.

SANITARY SEWER RISER



DATE	REVISIONS	SUBMITTAL # TO CITY	DATE
		8/22/16	8/22/16

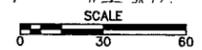
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ANKENY, IOWA
CIVIL DESIGN ADVANTAGE
ENGINEER:

WINDSOR VILLAGE PLAT 5
UTILITY PLAN

5/6
1602042



GENERAL NOTES

REFER TO SHEET 2

PAVEMENT SHADING REQUIREMENTS

20% OF ALL PAVEMENT MUST BE SHADED

PRIVATE ROAD = 12,950 SF
 DRIVEWAYS = 8,050 SF
 TOTAL PAVEMENT = 21,000 SF

20% OF PAVEMENT = 4,200 SF
 3,800 SF / 706 (30" DIA. TREE) = 6 TREES
 TREES PROVIDED = 6 TREES

OPEN SPACE/ LANDSCAPE REQUIREMENTS

OPEN SPACE REQUIREMENTS
 SITE AREA = 130,598 SF
 OPEN SPACE REQUIRED (20%) = 26,120 SF
 OPEN SPACE PROVIDED = 32,453 SF (25%)

OPEN SPACE PLANTING REQUIREMENTS
 (2 TREES & 6 SHRUBS PER 3,000 SF OF REQUIRED OPEN SPACE)

REQUIRED:
 TREES = 18 TREES
 SHRUBS = 52 SHRUBS

PROVIDED:
 TREES = 18 TREES
 SHRUBS = 54 SHRUBS

SCREENING REQUIREMENTS

DELAWARE AVE 245 LF (CLASS 'B')

TREES	10	SHRUBS	25
REQUIRED	10*		25
PROVIDED			

NW 18TH STREET 545 LF (CLASS 'A')

TREES	17	SHRUBS	27
REQUIRED	17		27
PROVIDED	18**		27

* 10 TREES PROVIDED INCLUDES 2 EXISTING OVERSTORY TREES
 ** 18 TREES PROVIDED INCLUDES 1 EXISTING OVERSTORY TREE AND 9 EXISTING EVERGREEN TREES

LANDSCAPE NOTES

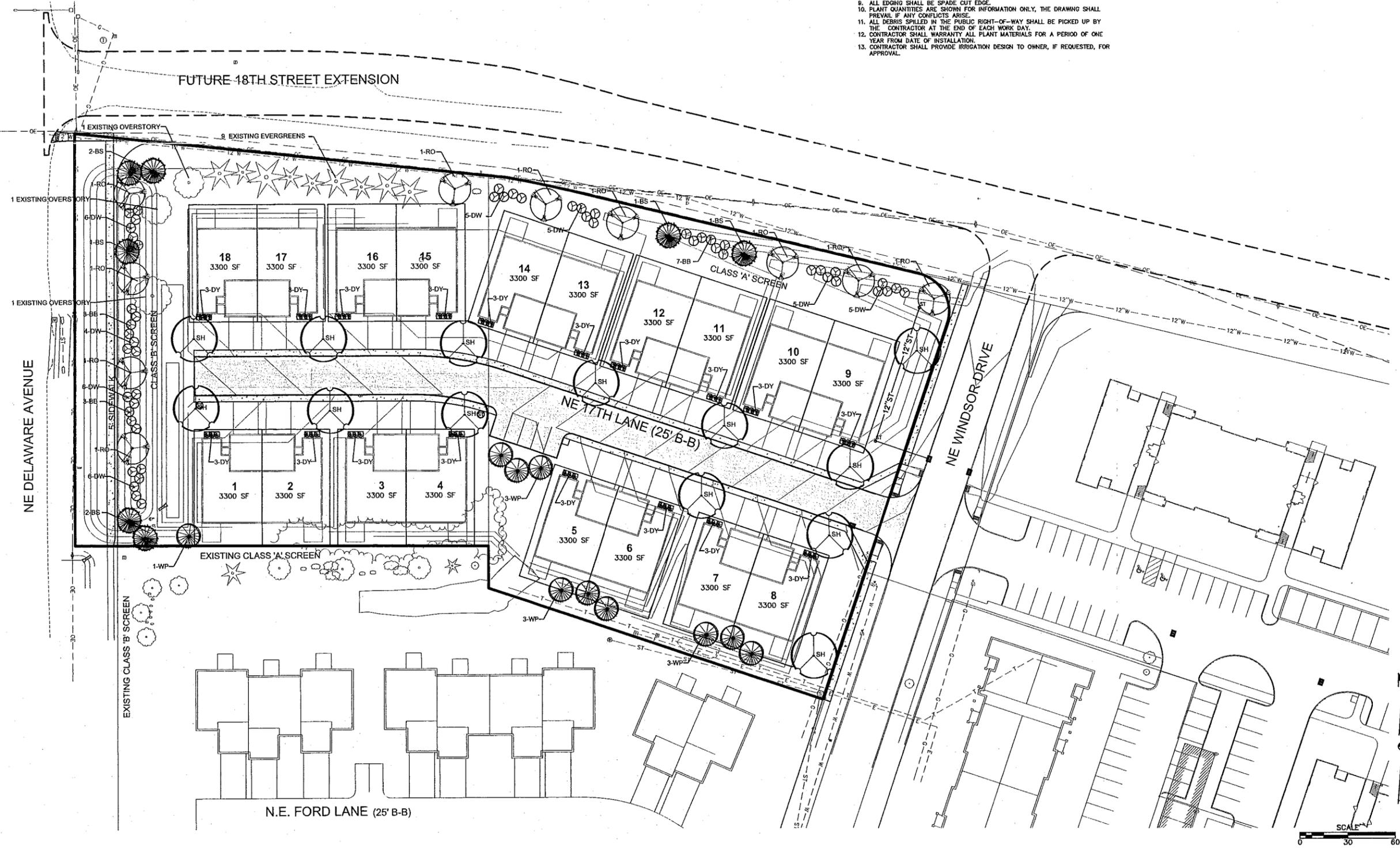
- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE MOST RECENT EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z601.
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, WOUNDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SEED OR SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB, (MINUS 1 1/2" FOR SOO, IF REQUIRED.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC RIGHT-OF-WAY SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

PLANT SCHEDULE

CODE QUANTITY OVERSTORY TREES			
SH 13	SHADEMASTER HONEYLOCUST	GLEADITSA TRICANTHAS 'SHADEMASTER'	7" CAL. BAB
RO 10	RED OAK	QUERCUS RUBRA	7" CAL. BAB

CODE QUANTITY EVERGREEN TREES			
EP 10	EASTERN WHITE PINE	PINUS STROBUS	6" HT. BAB
BS 17	COLORADO BLUE SPRUCE	PICEA PUNGENS	6" HT. BAB

CODE QUANTITY SHRUBS			
DW 39	HONEY HALO DOGWOOD	CORNUS ALBA 'HAIHALO'	18" HT. CONT
BS 13	SWAMP BURNING BUSH	ECONYMIUS ALAYA COMPACTA	18" HT. CONT
DY 54	DENSE YEW	TAXUS X MEDIA DENSFORMIS	18" HT. CONT



DATE: _____

REVISIONS: _____

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: _____

WINDSOR VILLAGE PLAT 5
LANDSCAPE PLAN

ANKENY, IOWA

6/6

1602042