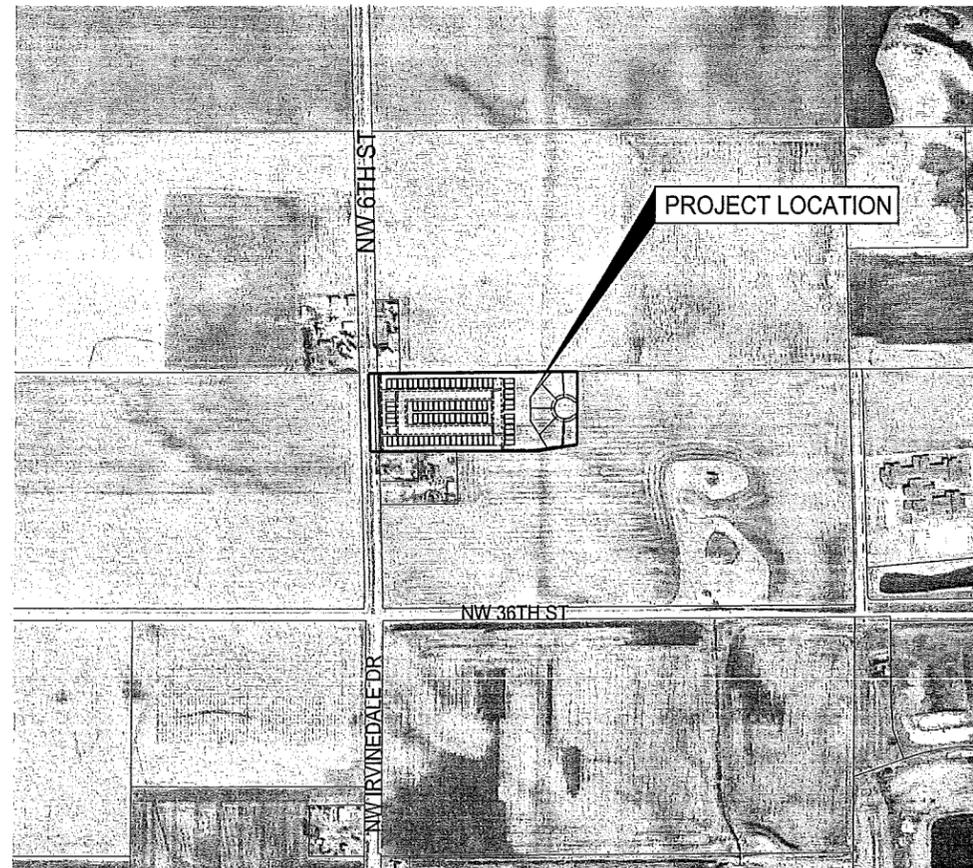


# SITE PLANS FOR VILLAGE AT ROCK CREEK PLAT 1

## MULTI-FAMILY RESIDENTIAL DEVELOPMENT CITY OF ANKENY, POLK COUNTY, IOWA



1"=500'

VICINITY MAP



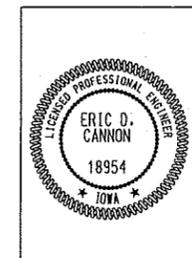
OWNER/DEVELOPER

K&N HOLDINGS LLC  
1680 SW ANKENY ROAD, SUITE 2A  
ANKENY, IA 50023  
CONTACT: COREY KAUTZ  
PHONE: (515) 865-2546

INDEX OF SHEETS

1. TITLE SHEET
2. PROJECT INFORMATION
3. DIMENSION PLAN
4. STORM SEWER PLAN
5. GRADING & EROSION CONTROL PLAN
6. SIDEWALK RAMP DETAILS
7. PLANTING PLAN

RECEIVED  
AUG 24 2016  
CITY OF ANKENY



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Iowa.

Eric D. Cannon, P.E. Date \_\_\_\_\_  
License Number 18954  
My License Renewal Date is December 31, 2017  
Pages or sheets covered by this seal: \_\_\_\_\_  
Sheets 1-6

**VILLAGE AT ROCK CREEK PLAT 1**

**TITLE SHEET**

**SNYDER & ASSOCIATES, INC.**

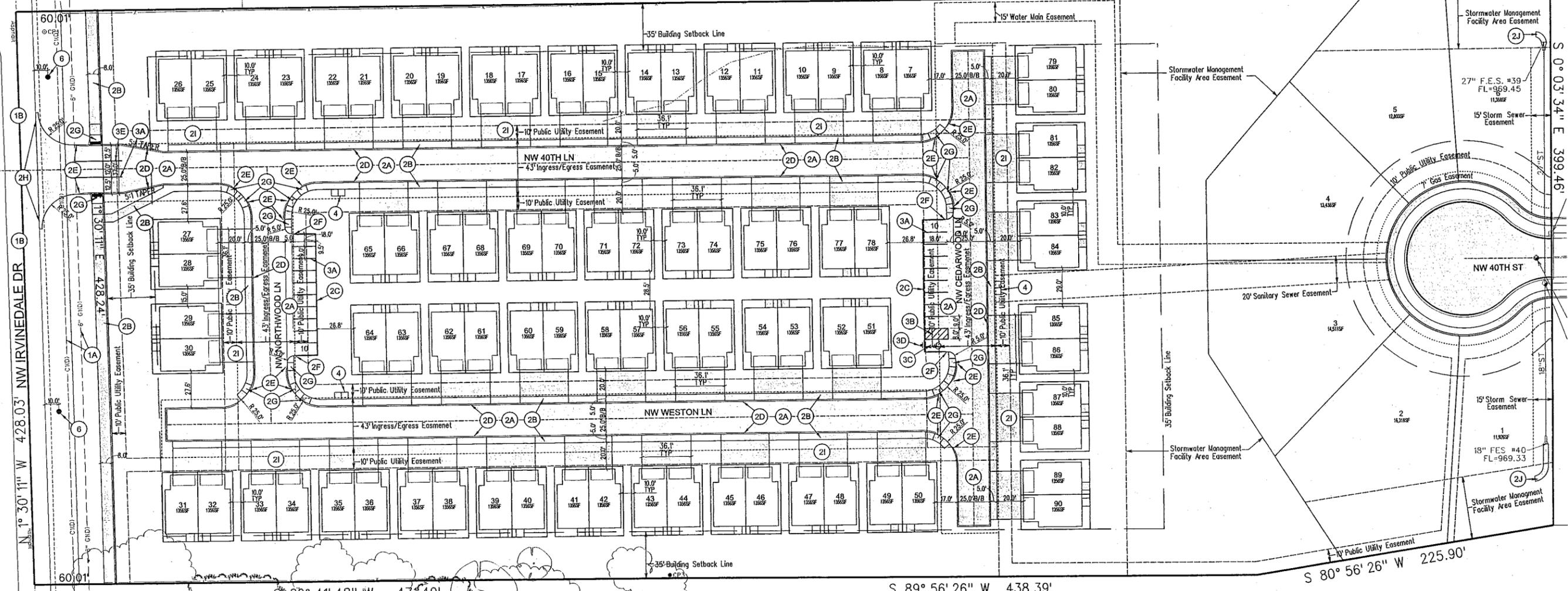
ANKENY, IOWA

2727 S.W. SNYDER BLVD.  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

REVISION	DATE	BY	SCALE	FIELD Bk.	Pg.
2	08/24/16	JWM			
1	08/05/16	JWM			
MARK	Engineer: KMM	Checked By: EDC	Scale: 1"=500'		
Technician: JWM	Date: 07/15/16				
Project No:	116.0231				Sheet 1 of 7



N 89° 29' 39" E 1,143.81'



2	REVISED AS PER CITY COMMENTS	08/24/16	JWM
1	REVISED AS PER CITY COMMENTS	08/05/16	JWM
MARK		REVISION	DATE
Engineer:	KMM	Checked By:	EDC
Scale:	1" = 40'	Date:	07/15/16
Field:		Field No.:	116.0231
Project No.:			116.0231
Sheet:			3 of 7

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# VILLAGE AT ROCK CREEK PLAT 1

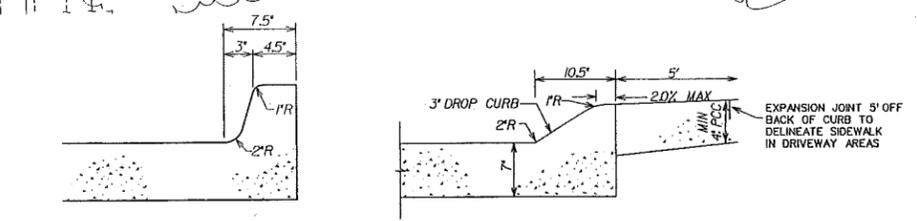
## DIMENSION PLAN

### SNYDER & ASSOCIATES, INC.

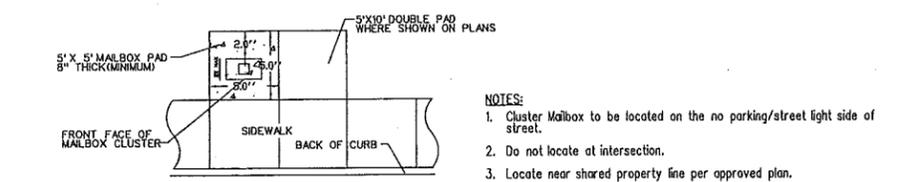
#### DIMENSION PLAN CONSTRUCTION NOTES

- PROTECT THE FOLLOWING SITE FEATURES:
  - EXISTING UTILITY, ADJUST AS NECESSARY TO ALLOW FOR CONSTRUCTION, VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
  - EXISTING PAVEMENT.
- PAVEMENTS, PROVIDE THE FOLLOWING:
  - 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - 6" PCC STANDARD CURB.
  - 3" PCC ROLL CURB.
  - TAPER FROM 3" ROLL CURB TO NO CURB.
  - TAPER FROM FULL 6" CURB TO NO CURB WHERE NOTED.
  - PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNING PANELS WHERE SHOWN.
  - CONNECT TO EXISTING PAVEMENT WITH A SUDAS TYPE "A" CONNECTION (7030.101). MATCH EXISTING ELEVATION.
  - 5" PCC DRIVEWAY.
  - 4" WIDE PCC FLUME.
- PAVEMENT MARKINGS, PROVIDE THE FOLLOWING:
  - PAINTED PARKING STALL LINE, 4" WIDE, PAINTED YELLOW.
  - 45" STRIPING AT 3' ON CENTER SPACING WHERE SHOWN.
  - PAINTED STATE OF IOWA APPROVED ACCESSIBLE PARKING SYMBOL REQUIREMENTS.
  - PROVIDE VAN ACCESSIBLE PARKING SIGNAGE AS PER ADAGG REQUIREMENTS.
  - 4" WIDE SOLID WHITE LANE LINE.
- CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, AND TELEPHONE SERVICES WITH UTILITY SERVICES PROVIDER, THE CITY OF ANKENY, AND THE OWNER PRIOR TO CONSTRUCTION.
- OWNER PROVIDED AND INSTALLED 250W LED STREETLIGHT WITH 30' POLE AND 8' MAST ARM.

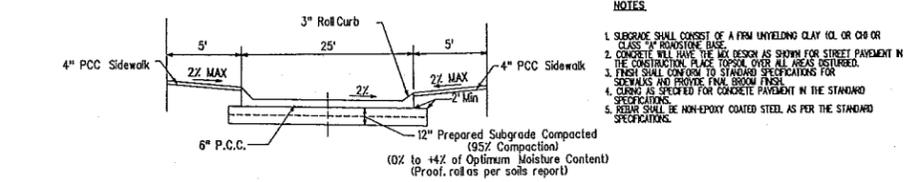
- NOTES**
- SUBGRADE SHALL CONSIST OF A FIRM UNYIELDING CLAY (CL OR CH OR CLASS "A" ROADSTONE BASE.
  - CONCRETE WILL HAVE THE MIX DESIGN AS SHOWN FOR STREET PAVEMENT IN THE CONSTRUCTION. PLACE TOPSOIL OVER ALL AREAS DISTURBED.
  - FRESH SHALL CONFORM TO STANDARD SPECIFICATIONS FOR SIDEWALKS AND PROVIDE FURF BROOM FINISH.
  - CURBS AS SPECIFIED FOR CONCRETE PAVEMENT IN THE STANDARD SPECIFICATIONS.
  - REBAR SHALL BE EPOXY COATED STEEL AS PER THE STANDARD SPECIFICATIONS.



1 6" STANDARD CURB  
 2 3" ROLL CURB  
 3 NOT TO SCALE

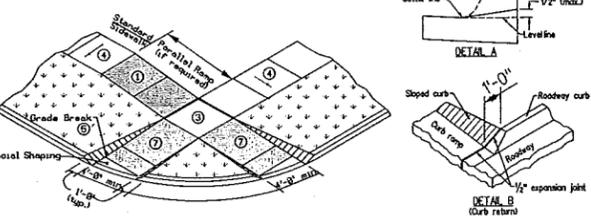
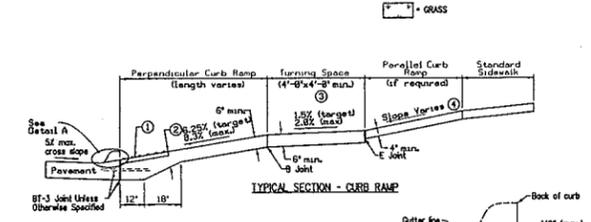


3 CLUSTER MAILBOX PAD DETAIL  
 3 NOT TO SCALE

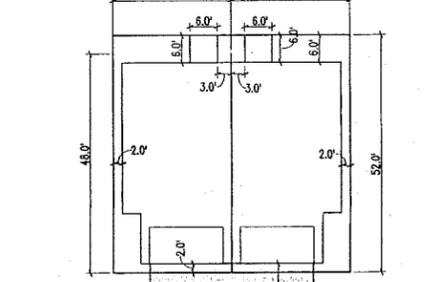


4 TYPICAL PRIVATE STREET CROSS SECTION  
 3 NOT TO SCALE

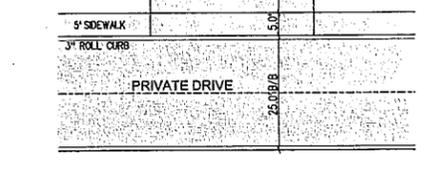
- with the crosswalk markings.
- Provide a minimum 2 feet width of detectable warning surface in the direction of pedestrian travel across the full width of the curb ramp or turning space, exclusive of curb or flange.
  - Provide a minimum of 6 inches of concrete below.
  - Target slope of 1:52 with maximum slope perpendicular to the travel direction of 2.0%. Minimum 4 feet by 4 feet.
  - If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.
- The length of the parallel ramp is not required to exceed 30 feet, regardless of the resulting slope. Do not exceed 8.33% slope for parallel ramps shorter than 15 feet.



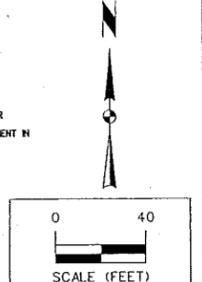
5 TYPICAL SIDEWALK RAMP  
 3

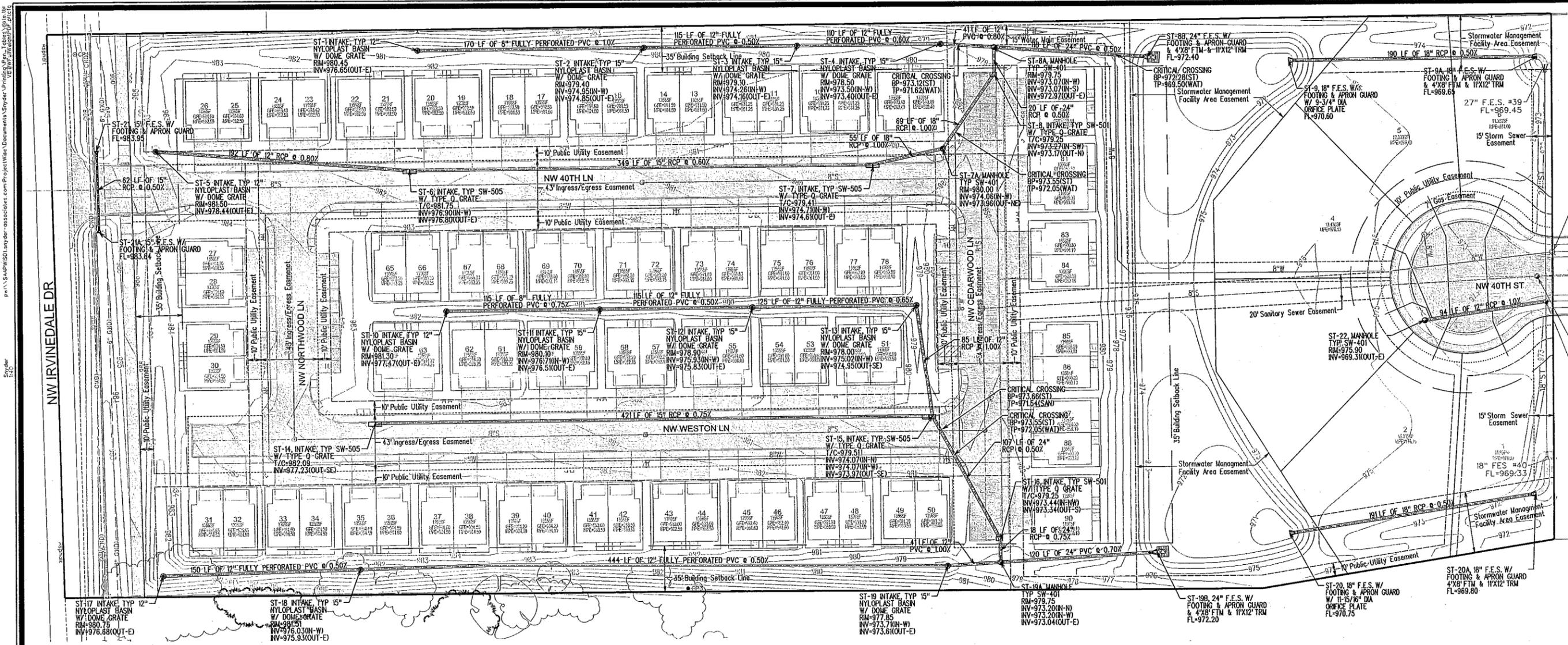


6 TYPICAL UNIT DETAIL  
 3 SCALE 1"=20"



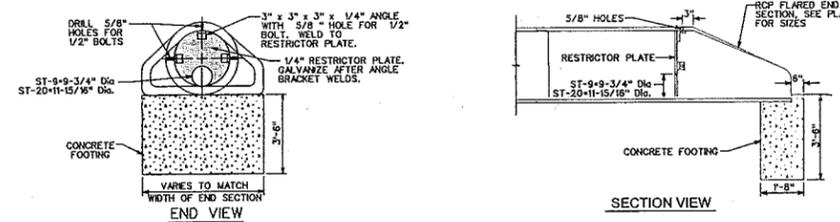
7 CUNNETTE DETAIL  
 3



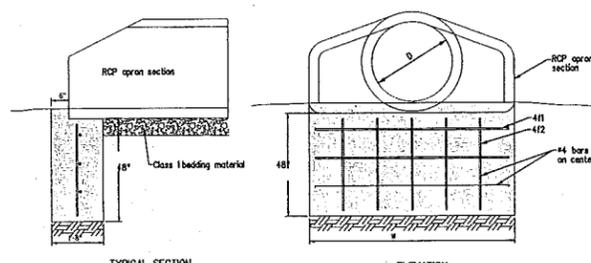


**UTILITY PLAN CONSTRUCTION NOTES**

- EXISTING FEATURES, PROTECT THE FOLLOWING:  
A. EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
- PROVIDE STORM SEWER IMPROVEMENTS AS SHOWN AS PER 2016 URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, AND THE CITY OF ANKENY SUPPLEMENTAL SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION. SEE CRITICAL CROSSING DETAIL FOR CROSSINGS THAT ARE LESS THAN THE 18" MINIMUM SEPARATION.
- ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- ALL FOOTINGS FOR STORM SEWER STRUCTURES SHALL BE A MINIMUM 42 INCHES BELOW FINISHED GRADE. CONCRETE FILLET INSIDE INTAKES AS NECESSARY TO FLOW LINES.
- PROVIDE GASKETED RCP STORM SEWER WITHIN 10' OF WATER MAIN CROSSING.



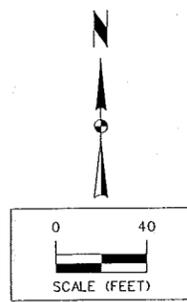
2 FLARED END SECTION CIRCULAR RESTRICTOR PLATE  
4 NO SCALE



1 RCP APRON SECTION FOOTING  
4 NO SCALE

**REINFORCING BAR LIST**

D	W	Mat	Size	Length	Count
12"	2'-4"	411	4	2'-0"	3
12"	2'-4"	412	4	3'-6"	2
15"	2'-10 1/2"	411	4	2'-6 1/2"	3
15"	2'-10 1/2"	412	4	3'-6"	2
18"	3'-5"	411	4	3'-4"	3
18"	3'-5"	412	4	3'-5"	3
24"	4'-6"	411	4	4'-2"	3
24"	4'-6"	412	4	3'-6"	3

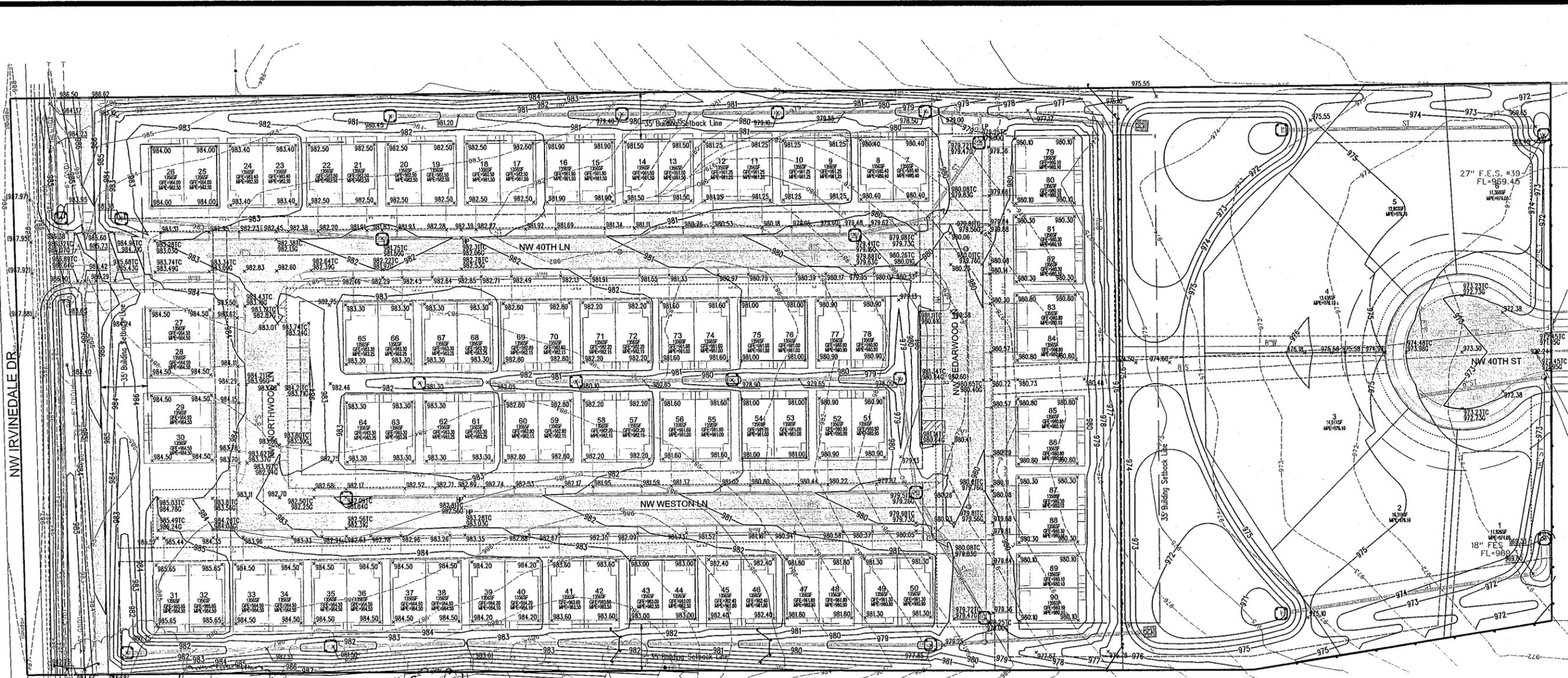


**VILLAGE AT ROCK CREEK PLAT 1**  
**STORM SEWER PLAN**  
**ANKENY, IOWA**  
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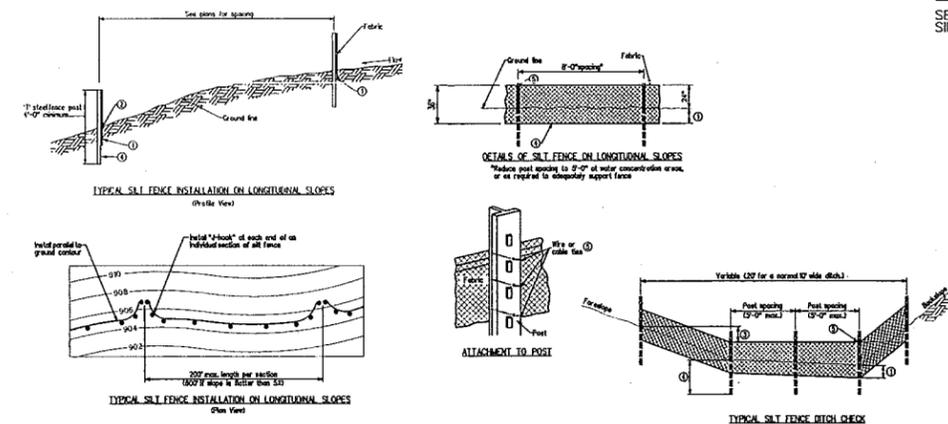
MARK	DATE	BY
2	08/24/16	JMM
1	08/05/16	JMM

Project No: 116.0231  
 Sheet 4 of 7

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 8/24/2020 9:47 AM



CLEAR AND GRUB EXISTING  
 TREES AS NECESSARY.  
 PROTECT EXISTING FENCE.  
 REMOVE AND REPLACE AS  
 NECESSARY



**1** SILT FENCE DETAIL  
**5** NO SCALE

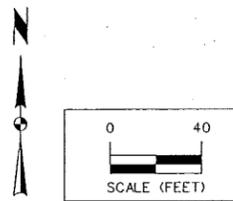
**QUANTITIES**

SEEDING AND MULCHING	11.0 AC.
SILT FENCE	1640 LF.

**GRADING PLAN NOTES**

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
- C. PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A GRADING PERMIT.
- D. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- E. CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.
- F. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL/ MECHANICAL/ ELECTRICAL/ PLUMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
- G. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MINIMUM 6" DEPTH TO FINISH GRADES.
- H. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.

- GENERAL NOTES**
1. Install all fences according to the requirements of Section 8803, 8807 and all locations shown in the contract documents or as directed by the Architect/Engineer.
  2. Material to be submitted 20 in advance of construction and approved by the Architect/Engineer.
  3. Compact ground by driving along each side of the ditch on a track of 1/2 in. diameter to prevent rutting and flow under the fence.
  4. In ditch, extend all fence up side slope on the bottom elevation of the end of the fence a minimum of 2 ft. higher than the top of the ditch.
  5. Secure top of synthetic fabric to steel posts with wire or plastic tie (20 lb. pull). See details of "Attachment to Posts".



<p>2 REVISED AS PER CITY COMMENTS 08/24/16 JWM</p> <p>1 REVISED AS PER CITY COMMENTS 08/05/16 JWM</p> <p>MARK REVISION DATE BY</p> <p>Engineer: KMM Checked By: EDC Scale: 1"=40'</p> <p>Technician: JWM Date: 07/15/16 Field Bk: Pg:</p> <p>Project No: 116.0231</p>	<p>Sheet 5 of 7</p>
<p><b>VILLAGE AT ROCK CREEK PLAT 1</b></p> <p><b>GRADING AND EROSION CONTROL PLAN</b></p> <p><b>ANKENY, IOWA</b></p>	
<p><b>SNYDER &amp; ASSOCIATES, INC.</b></p> <p>2727 S.W. SNYDER BLVD. ANKENY, IOWA 50023 515-964-2020   www.snyder-associates.com</p>	
<p>Project No: 116.0231</p> <p>Sheet 5 of 7</p>	



